

PLANNING COMMITTEE: 13th June 2017
DIRECTORATE: Regeneration, Enterprise and Planning
HEAD OF PLANNING: Peter Baguley

APPLICATION REF: N/2017/0227

LOCATION: The Ecton Brook Public House , Ecton Brook Road

DESCRIPTION: Changing the external materials of the existing walls. Erection of new open entrance porch and front boundary wall (part retrospective)

WARD: Billing Ward

APPLICANT: Mr Patel
AGENT: Plan My Property

REFERRED BY: Head of Planning
REASON: Council owned land

DEPARTURE: No

APPLICATION FOR DETERMINATION:

1. RECOMMENDATION

1.1 **APPROVAL** subject to the conditions as set out below and for the following reason:

The proposed development would not have any undue detrimental impact on the appearance and character of the host building, wider area, highway safety and amenity of nearby occupiers to comply with Policy E20 of the Northampton Local Plan, S10 of the West Northamptonshire Joint Core Strategy and aims and objectives of the National Planning Policy Framework.

2. THE PROPOSAL

2.1 Planning permission is sought for external oak cladding to be applied to the outside of part of the building, single storey front porch extension and brick front boundary wall 1.3 metres high constructed in materials matching the existing building. The application is part retrospective as the wall has been largely built and the cladding has already been commenced.

3. SITE DESCRIPTION

3.1 The application site consists of a former public house accessed off Ecton Brook Road. The building is of modern construction finished in light brown bricks. The principal elevation fronts Ecton Brook Road. There is a car park to the side and nearby convenience shop is located to the immediate west of the site. There are residential properties across the road on the east of the

site, 27 metres away at closest. To the north, is the St Andrews Church of England Primary School. The site is not in a conservation area. The site is owned by the Council.

4. PLANNING HISTORY

4.1 N/2015/0100 Planning permission granted for new doors and roof lights.

N/2014/1092 Planning permission granted for change of use from public house (Class A4) to community centre (Class D1).

5. PLANNING POLICY

5.1 Statutory Duty

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted West Northamptonshire Joint Core Strategy (2014), Northampton Local Plan (1997) saved policies.

5.2 National Policies

The National Planning Policy Framework (NPPF) sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

Paragraph 17 relates to residential amenity of neighbouring occupiers

Paragraph 56 and 57 requires good design. Paragraph 64 urges local authorities to reject poor design.

5.3 West Northamptonshire Joint Core Strategy (2014)

The West Northamptonshire Joint Core Strategy (JCS) provides an up to date evidence base and considers the current Government requirements for plan making as it has been prepared in full conformity with the NPPF. Policy of particular relevance include:

S10 Sustainable Development Principles- Requires high quality design and sustainable development. Also requires design to create a sense of place.

5.4 Northampton Local Plan 1997 (Saved Policies)

Due to the age of the plan, the amount of weight that can be attributed to the aims and objectives of this document are diminished, however, the following policy is material to this application:

E20 Design of new development - promotes good design in terms of materials, scale and layout and standards of light and privacy for neighbouring occupiers.

6. CONSULTATIONS/ REPRESENTATIONS

6.1 None received.

7. APPRAISAL

Main issues

- 7.1 The main issues to consider are the impact on the appearance and character of the host building, street scene, highway safety and neighbour amenity.

Impact on appearance and character of the host building and street scene

- 7.2 Although the proposed porch and boundary wall would be visible from Ecton Brook Road, it is considered that the design, height, scale and general appearance would complement the host building and not detract from the street scene. Any approval would be subject to a matching materials condition to ensure a satisfactory appearance in accordance with Policy E20 of the Northampton Local Plan and S10 of the Joint Core Strategy.
- 7.3 Regarding the proposed cladding, this element would be conditioned to be constructed in accordance with the submitted technical specification supplied by the applicant and again is considered of an appearance and colour that would be in keeping with the area. The adjacent school also has wooden cladding to the front elevation.

Impact on neighbour amenity

- 7.4 Due to existing separation of 27 metres between the front of the building and nearest residential properties to the east on Riverwell, it is considered that there would be no adverse impact in terms of loss light, outlook and privacy.

Highway safety

- 7.5 Due to its height and siting, it is not considered that the boundary wall would have a significant impact on pedestrian visibility or highway safety affecting vehicular traffic on the adjacent Ecton Brook Road. It is also worth noting that the wall is also only 30cm higher than what could be erected without the need for planning permission.

8. CONCLUSION

- 8.1 For the above reasons, the proposal is considered to comply with development plan and national planning policy and is recommended for approval with the following conditions.

9. CONDITIONS

- (1) The development hereby permitted shall be carried out in accordance with the following approved plans: PA/01/01, PA/01/01 Rev A, PA/01/02, Technical specification by Envirobuild of external cladding materials received 24 May 2017.

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

- (2) The external roof of the porch and brick work of the boundary wall shall be constructed with materials of the same type, texture and colour as the external materials of the existing building.

Reason: In the interests of visual amenity to ensure that the development harmonises with the existing building in accordance with Policy E20 of the Northampton Local Plan and S10 of the West Northamptonshire Joint Core Strategy.

- (3) The external oak cladding shall be implemented in accordance with the Technical Specification by Enviro Build received from the applicant on 24 May 2017.

Reason- In the interests of visual amenity to comply with Policy E20 of the Northampton Local Plan and S10 of the West Northamptonshire Joint Core Strategy.

10. BACKGROUND PAPERS

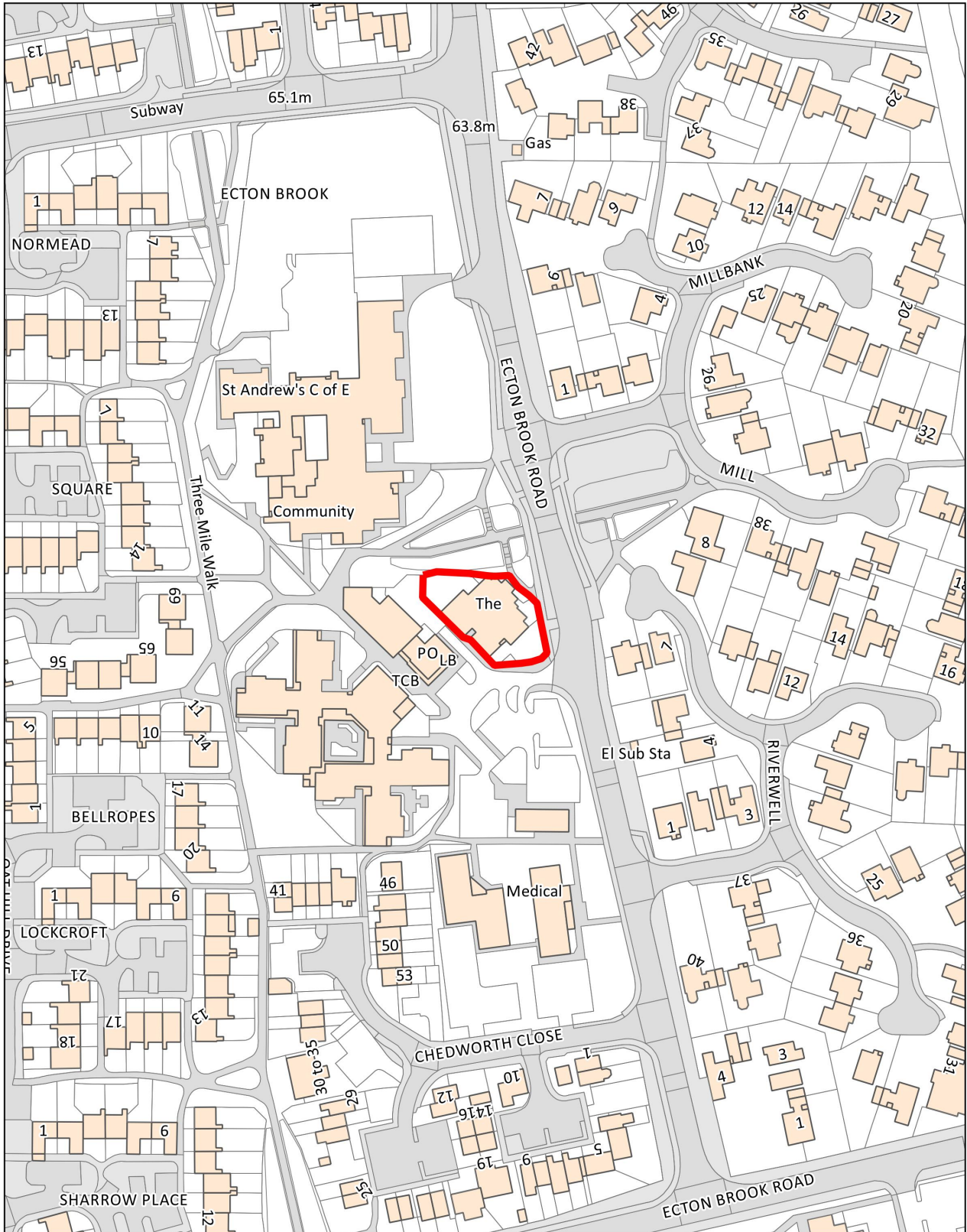
10.1 N/2017/0227

11. LEGAL IMPLICATIONS

11.1 The development is not Community Infrastructure Levy chargeable.

12. SUMMARY AND LINKS TO CORPORATE PLAN

12.1 In reaching the attached recommendations regard has been given to securing the objectives, visions and priorities outlined in the Corporate Plan together with those of associated Frameworks and Strategies.



Title: **The Ecton Brook Public House, Ecton Brook Road**

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Date: 01-06-2017

Scale: 1:1,500

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